

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 9, 2005

ITEM NO. 6

CASE NUMBER/ PROJECT NAME	7-DR-2005 Bennett Residential/Office Building		
LOCATION	6921 E 1st Street		
REQUEST	Request approval of a site plan and elevations for a new residential single-family development with an addition of 1200 square feet of office space.		
OWNER	Barry Bennett 480-235-4148	ENGINEER	N/A
ARCHITECT/ DESIGNER	Design Coalition 602 395-9580	APPLICANT/ COORDINATOR	Russ Rowlands Design Coalition 602 395-9580
BACKGROUND	<p>Zoning.</p> <p>The site is zoned Downtown Office Residential – Type 2, Downtown Overlay (D/OR-2, DO). This district allows single-family homes and offices.</p> <p>Context.</p> <p>The project is located in the southwest section of the Downtown which predominately consists of residential uses. The parcel is located mid-block on 1st Street between 69th Street and Goldwater Boulevard. Existing houses, multi-family complexes, and some office buildings are found in the area. Currently, the site is occupied by a single family home in which the applicant will demolish for the construction of the proposed project.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none">• North: existing office building (Central Business District, Downtown Overlay, C-2/DO).• South: existing single family home and offices (Downtown Office Residential – Type 2, Downtown Overlay, D/OR-2/DO).• East: existing single family home (Multi Family Residential District, Downtown Overlay, R-5/DO).• West: existing single family home (Multi Family Residential District, Downtown Overlay, R-5/DO). <p>Applicant's Request.</p> <p>The request is for site plan, landscape plan, and elevation plan approval for a single family home that will have an office space, open to the public, on the first floor. The residential portion of the building will contain 5,595 sq. ft. and the office portion will contain 1,200 sq. ft. of floor area.</p>		
APPLICANT'S PROPOSAL			

Development Information:

- Existing Use: single family house used as office
- Proposed Use: single family home and office
- Parcel Size: 9,399 sq. ft.
- Building Size: 8,143 sq. ft.
- Building Height Allowed/Proposed: 38 ft./ 38 ft.
- Parking Required/Provided: 2 spaces/ 4 spaces
- Open Space Required/Provided: none required

DISCUSSION

The applicant proposes to build a three-story single family home, with an office space open to the public on the first floor, at a maximum height of 38 feet. The building is separated from the street by a landscape yard meeting the 20 foot required setback. Access to the home/office is for pedestrians only along 1st Avenue. The home and office have separate entrances accessed through a gated patio area in front of the building. Vehicles access the site from the rear alley. The site is within the Downtown Overlay. When a site is newly built or expands it's current building with office/services/retail uses, the first 2,000 sq. ft. does not have a parking requirement. The proposed office space on the first level, which contains a total of 1,200 sq. ft and would require 4 parking spaces, is exempt from any parking requirements. The single family home is required 2 parking spaces; the applicant has provided a two-car garage and two covered parking spaces off of the alley. There is no open space requirement with Downtown zoned properties.

The architecture of the building was chosen by the applicant to be sophisticated modern in construction and materials. The mass of the building has been broken up horizontally with a variety of steps, materials, colors, and window openings. The main body of the building is composed of natural CMU block with portions accented with sand finish stucco painted white (Dunn Edwards Dominick SP 181) and satin finish stainless steel. Windows consist of clear glass with brushed aluminum frames. The doors, garage doors, and front metal entry gate will be painted gray (Dunn Edwards 3001 Charcoal Cliff).

The existing mature trees on the site are proposed to be removed. The applicant proposes to replace the trees with five Acacia and Ironwood trees (minimum 4" caliper). A variety of shrubs, ground cover, and boulders are proposed within the front and rear yards.

PUBLIC INPUT

The applicant has notified by mail all property owners within 300 feet. of the site to explain the project. The applicant indicated that they had not been contacted from the community regarding the proposed project. Staff received one phone call and one e-mail from surrounding property owners. The two owners indicated that the proposed architecture is not in harmony with the environment and the building was out of scale compared to the surrounding buildings.

**STAFF
RECOMMENDATION**

Staff recommends approval, subject to the attached stipulations.

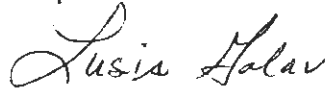
STAFF CONTACT(S)

Bill Verschuren
Senior Planner
Phone: 480-312-7734
E-mail: bverschuren@ScottsdaleAZ.gov

APPROVED BY



Bill Verschuren
Report Author



Lusia Galav, AICP
Development Planning Manager
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Color Elevations and Entry Gate
7. Floor Plans
8. Neighborhood Involvement (public input)
 - A. Fire Ordinance Requirements
 - B. Stipulations/Zoning Ordinance Requirements

PROJECT NARRATIVE

Presently there is an eleven hundred (1,100) square foot single story office on a 75' x 125.32 (130.32' - 5' dedication) lot, zoned D/OR-Type2. It is located in the downtown area of the City of Scottsdale. The structure will be relocated from this site to make way for the proposed new office / residential development.

The proposed project is a three-story office / residential structure with the twelve hundred (1,200) square foot office portion occupying part of the first floor. The residential portion will be fifty-five hundred and ninety-five (5,595) square feet with a two-car side entry garage in the front and a two-car garage in the rear accessed from the alley. There is separate office parking consisting of two spaces in the front and two covered spaces in the rear.

The design of the structure will be sophisticated modern both in construction and materials. The site will be landscaped in a desert motif utilizing plant materials emphasizing architectural interest and color. This will follow a trend, which the City has embraced for the area. The building materials will consist of natural concrete block, sand finish stucco, satin finish stainless steel facias and trim, clear glass, and frosted glass entry wall and gate. The building will be thirty-eight (38) feet in height. On each ascending story the North and South exterior wall placement will vary to create visual interest and avoid massing. The East and West elevations of the building will be on the East and West property lines. Currently there is no distinguishable style that represents the area.

7-DR-2005
1/25/2005



Q.S.
16-44

G.I.S. ORTHOPHOTO 2003

Bennett Residential/Office Building

7-DR-2005

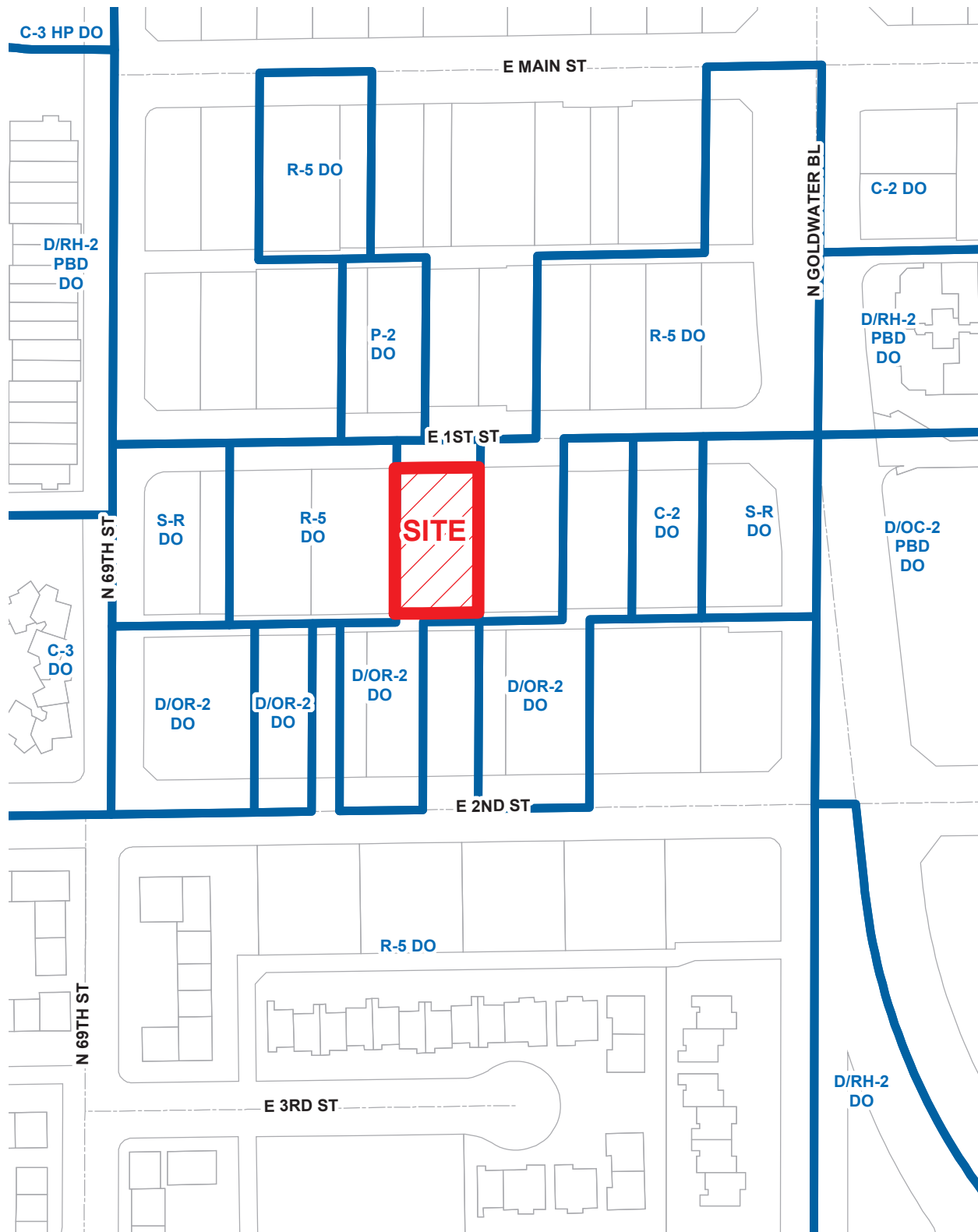
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Bennett Residential/Office Building

7-DR-2005

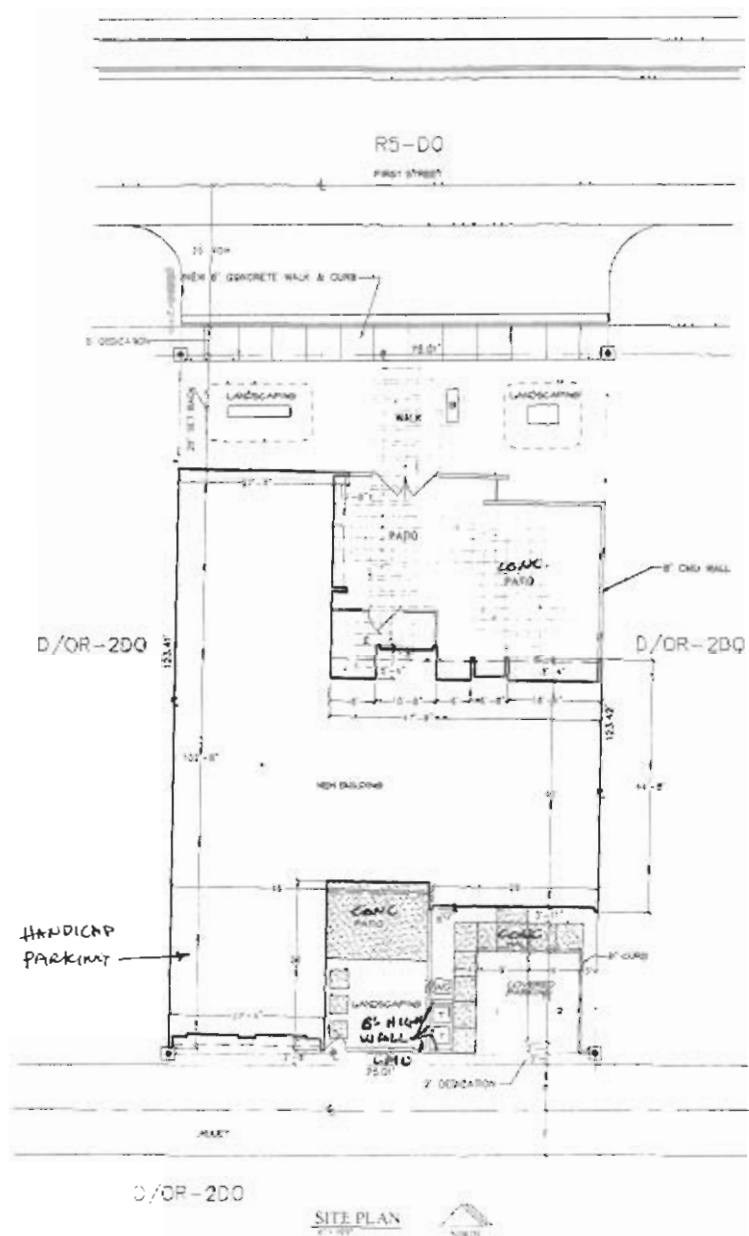
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7-DR-2005

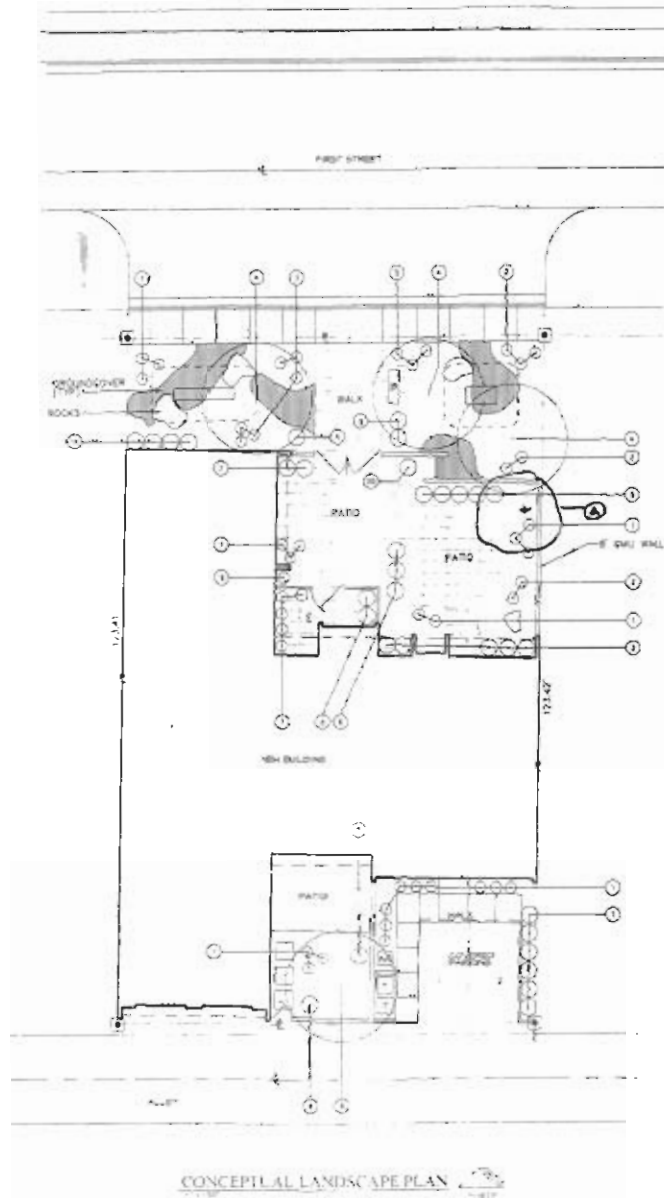
ATTACHMENT #3

ATTACHMENT #4



RESIDENTIAL/OFFICE BLDG.
FOR BARRY BENNETT
6921 E. FIRST STREET
SCOTTSDALE, ARIZONA

DESIGN COALITION
737 W. WHY WORRY LANE
PHOENIX, ARIZONA
(602) 393-9580
designcoal@cox.net

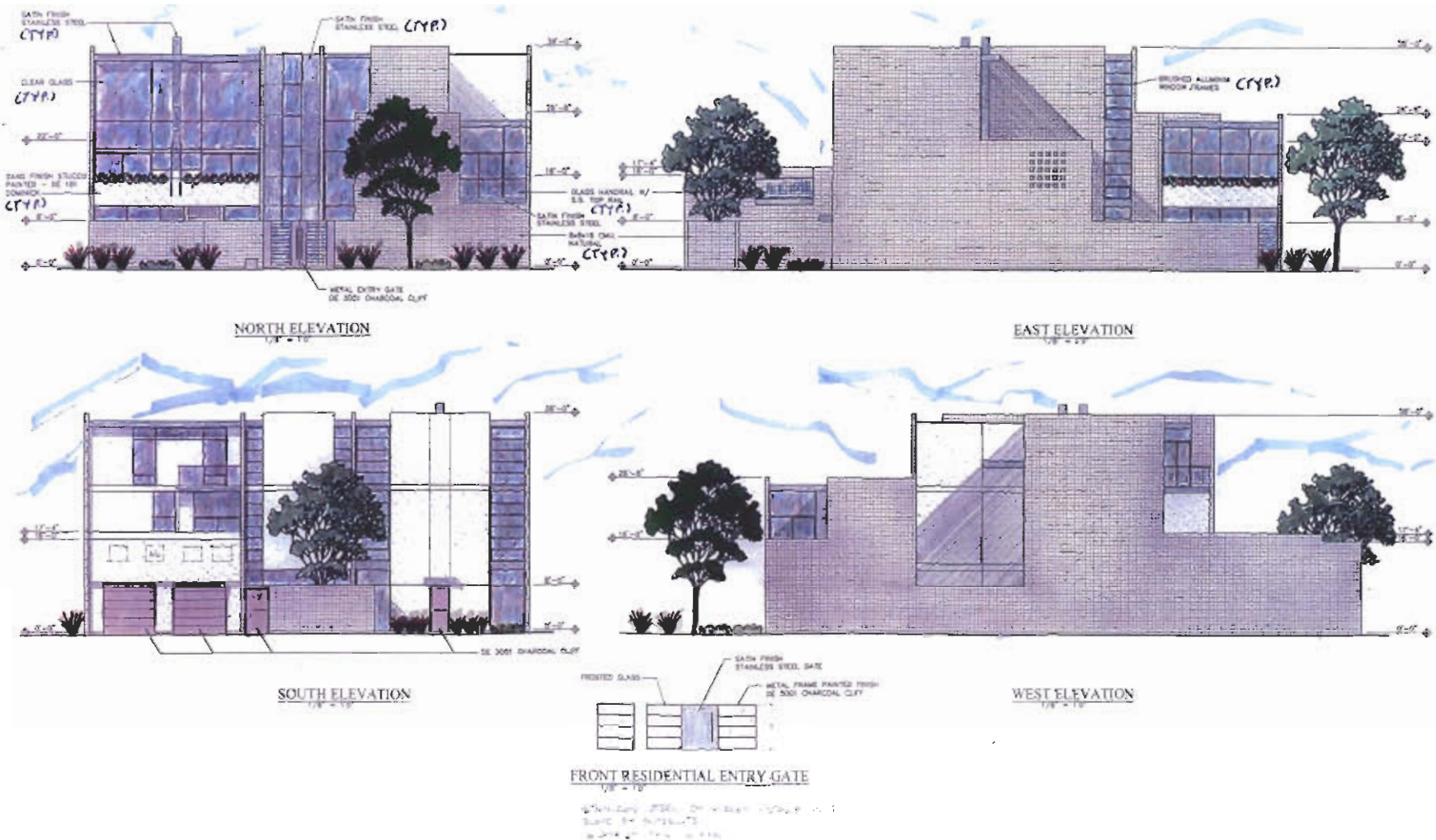


PLANT LIST	BOTANICAL NAME	COMMON NAME
QUANTITY		
TREES		
4-8	ACADIA TORTILIS	ACADIA UMBRELLA SHORN
1-8	QUINCY RESTOSA	RODWOOD
SHRUBS		
31-1	ECHINOCACTUS	GOLDEN BARREL
10-2	ORUSONI	CACTUS
3-3	AGAVE VULGARIS	AGAVE-OCTOPUS
1-4	AGAVE VICTOR	AGAVE-QUEEN VICTORIA
8-5	MONSTRODUS CEREUS	MONSTRA CEREUS
1-5	AGAVE PARRYI	AGAVE PARRYI
1-5	MUCHILLODUS	CACTUS-CANDELABRA
10-7	WITFLODUS	GOLDEN LANTANA
1-8	LANTANA	SHAW
1-8	PACHYDORUS	MEXICAN FENCE
3-5	MARGINATUS	DESERT SPOON
1-10	CASTLETON WHEELER	YUCCA-MENSAURUS
6-11	YUCCA MEXICANA	DESERT POKISTON
GROUND COVER		
	GAZANIA BICENS	GAZANIA
SURFACE COVER		
	GOLDEN GRANITE	MIN 2" DEPTH

BOULDERS TO BE MIN 10' FROM BACK OF CURB

RESIDENTIAL/OFFICE BLDG.
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6921 E. FIRST STREET
SCOTTSDALE, ARIZONA

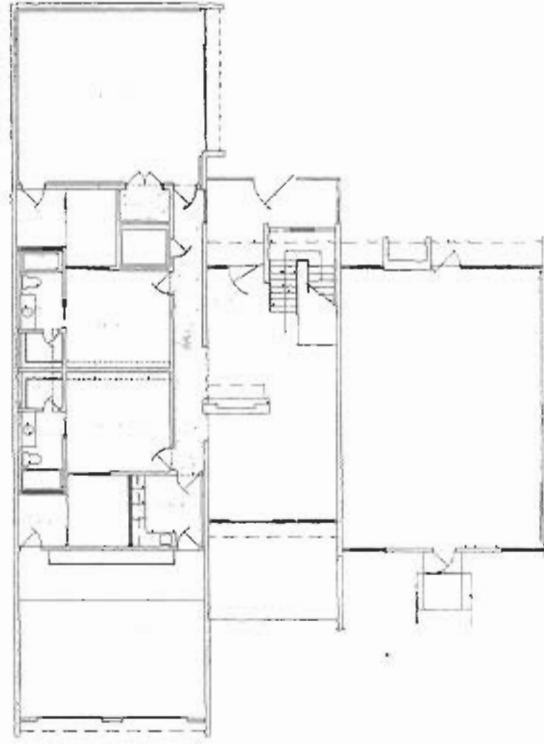
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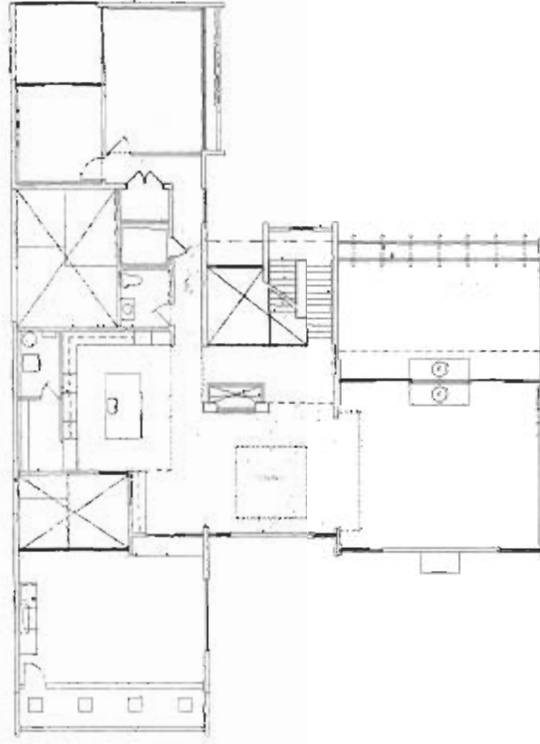
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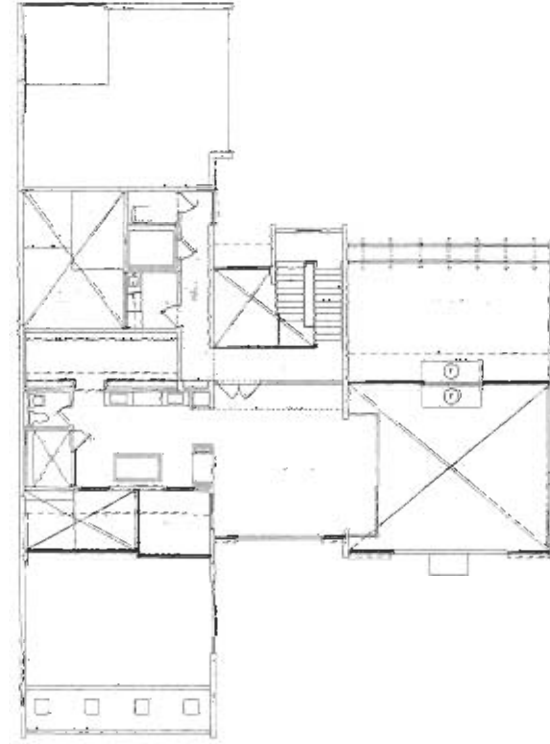
1ST FLOOR PLAN

RESIDENTIAL UNIT
1ST FLOOR 2000 S.F.
2ND FLOOR 2000 S.F.
3RD FLOOR 1000 S.F.
TOTAL 5000 S.F.

TOTAL UNDER ROOF RESIDENTIAL 1500 S.F.
GARAGE 1000 S.F.
OFFICE 1000 S.F.
TOTAL 3500 S.F.



2ND FLOOR PLAN



3RD FLOOR PLAN

DESIGN COALITION
737 W. WHY WORRY LANE
PHOENIX, ARIZONA
6021 393-9588
designcoal@cox.net

RESIDENTIAL/OFFICE BLDG.
FOR BARRY BENNETT
6921 E. FIRST STREET
SCOTTSDALE, ARIZONA

NEIGHBORHOOD INVOLVEMENT PACKET

For

Barry Bennett
Residence / Office
6921 East 1st Street

7-DR-2005
1/25/2005

BARRY M. BENNETT

PO BOX 4698, SCOTTSDALE, AZ 85261-4698
Email: FOCUS_ON_EXCELLENCE@MSN.COM
VOICE 480-905-8666 FAX: 480-905-8665

December 7, 2004

Mr. Bill Verschuren, Project Coordinator
City of Scottsdale
7447 East Indian School Road
Scottsdale, AZ 85251

REF: 6921 East 1st Street, Scottsdale, AZ

Dear Bill,

Enclosed please find a copy of the information I supplied to all property owners within 300' of my property by First Class Mail on December 7, 2004. Additionally, I have enclosed a list of those owners and a map indicating where their property is located.

Thank you for your time.

Sincerely,

Barry M. Bennett

7-DR-2005
1/25/2005

BARRY M. BENNETT

PO BOX 4698, SCOTTSDALE, AZ 85261-4698

Email: FOCUS_ON_EXCELLENCE@MSN.COM

VOICE 480-998-2894 FAX: 480-905-8665

City of Scottsdale Project Coordinator – Bill Verschuren 480-312-7734

December 7, 2004

Ref: 6921 East 1st Street, Scottsdale, AZ

Dear Neighbor,

I have purchased the 75' x 125.32' property at 6921 East 1st Street, Scottsdale and will be improving it. The purpose of my letter is to inform you of my plans and solicit your comments. I am sure you are all aware of the projects under way at both ends of 1st Street. The neighborhood is improving.

It has been my desire to live in the downtown district for quite a long time. Those of you who live or work there probably know why. I plan to do both live and work there.

The proposed development will require the removal of the existing structure. It is my desire to relocate it rather than demolish it, as it is such a nice building.

The new structure will be three stories comprised of a 5,595 square foot residence and a 1,200 square foot office. The project will be of the highest quality mirroring the direction the neighborhood is heading while adding value to this site and neighboring properties. We hope to start construction in April of 2005. I have enclosed a site plan and color elevations so you can have a visual understanding of my new home.

Please, if you have any comments or questions I would like to hear from you.

Thank you for your time.

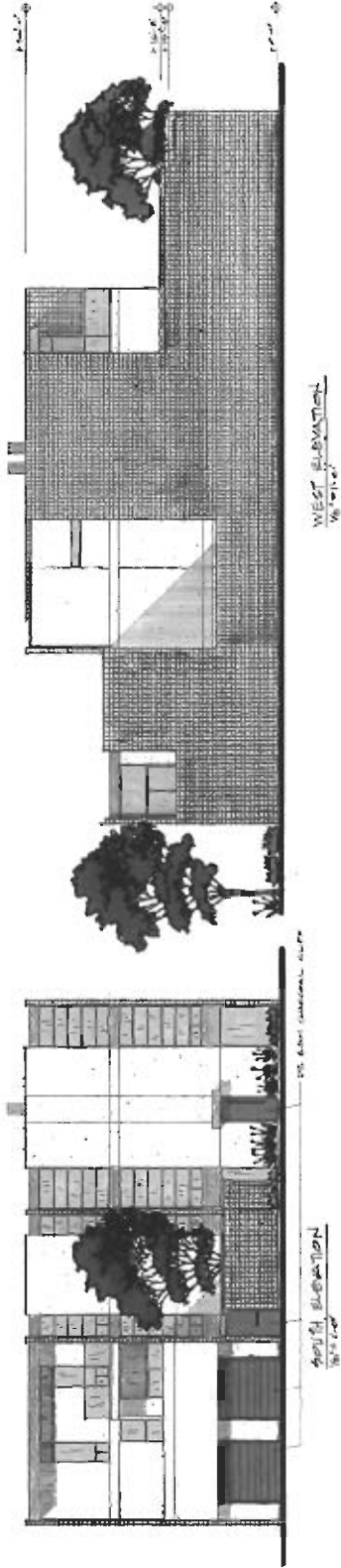
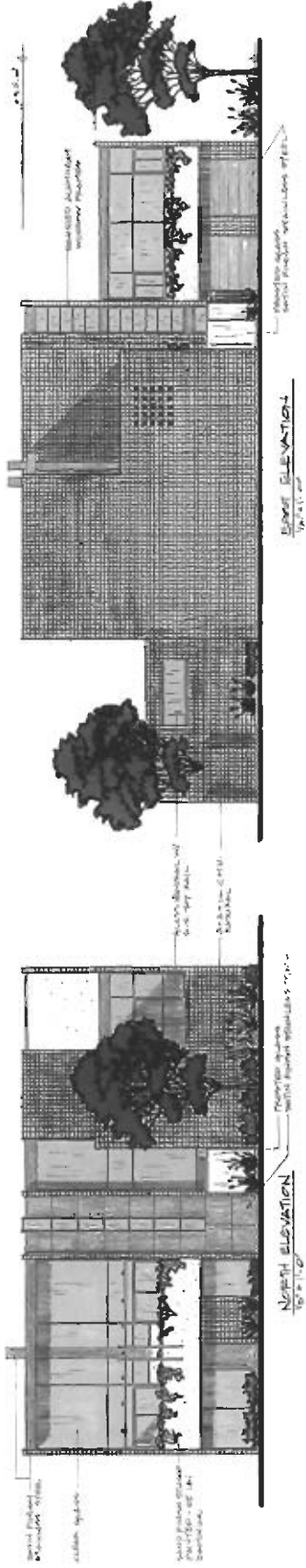
Sincerely,

Barry M. Bennett

7-DR-2005
1/25/2005

DESIGN COALITION
737 W. WHY WORTHY LANE
PHOENIX, ARIZONA
602-395-0580

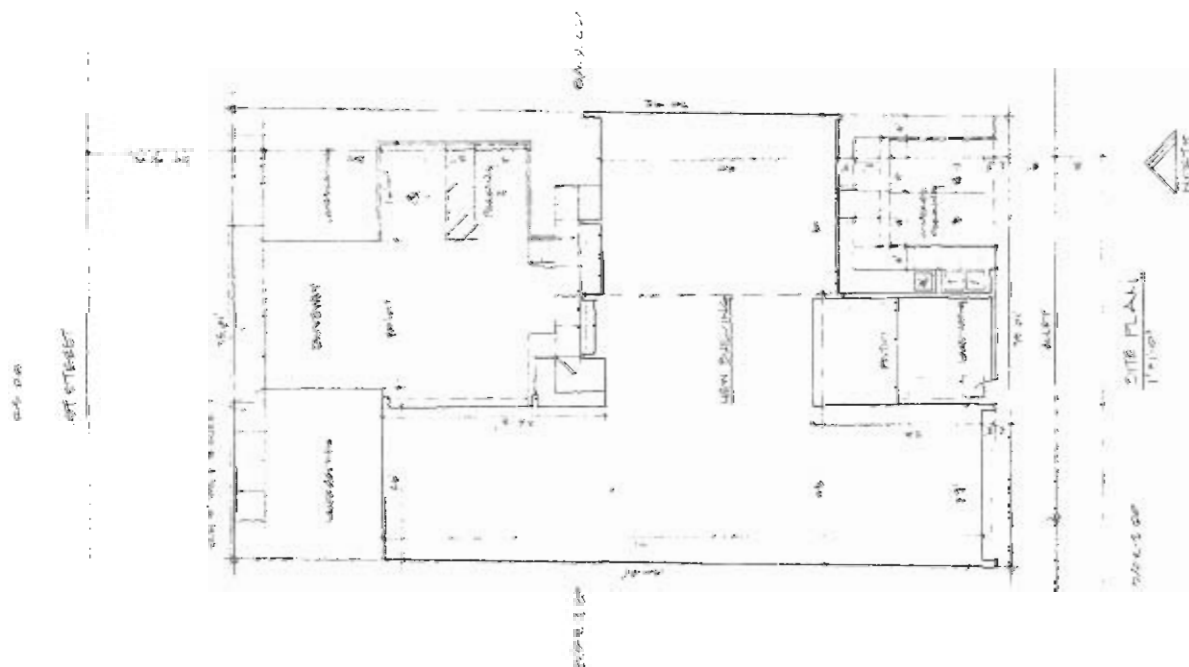
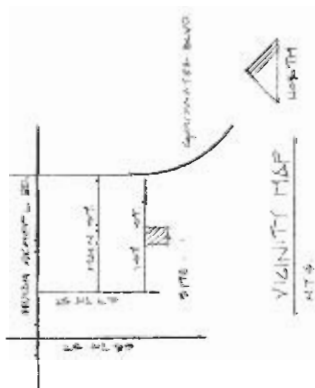
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FOR BARRY BENNETT
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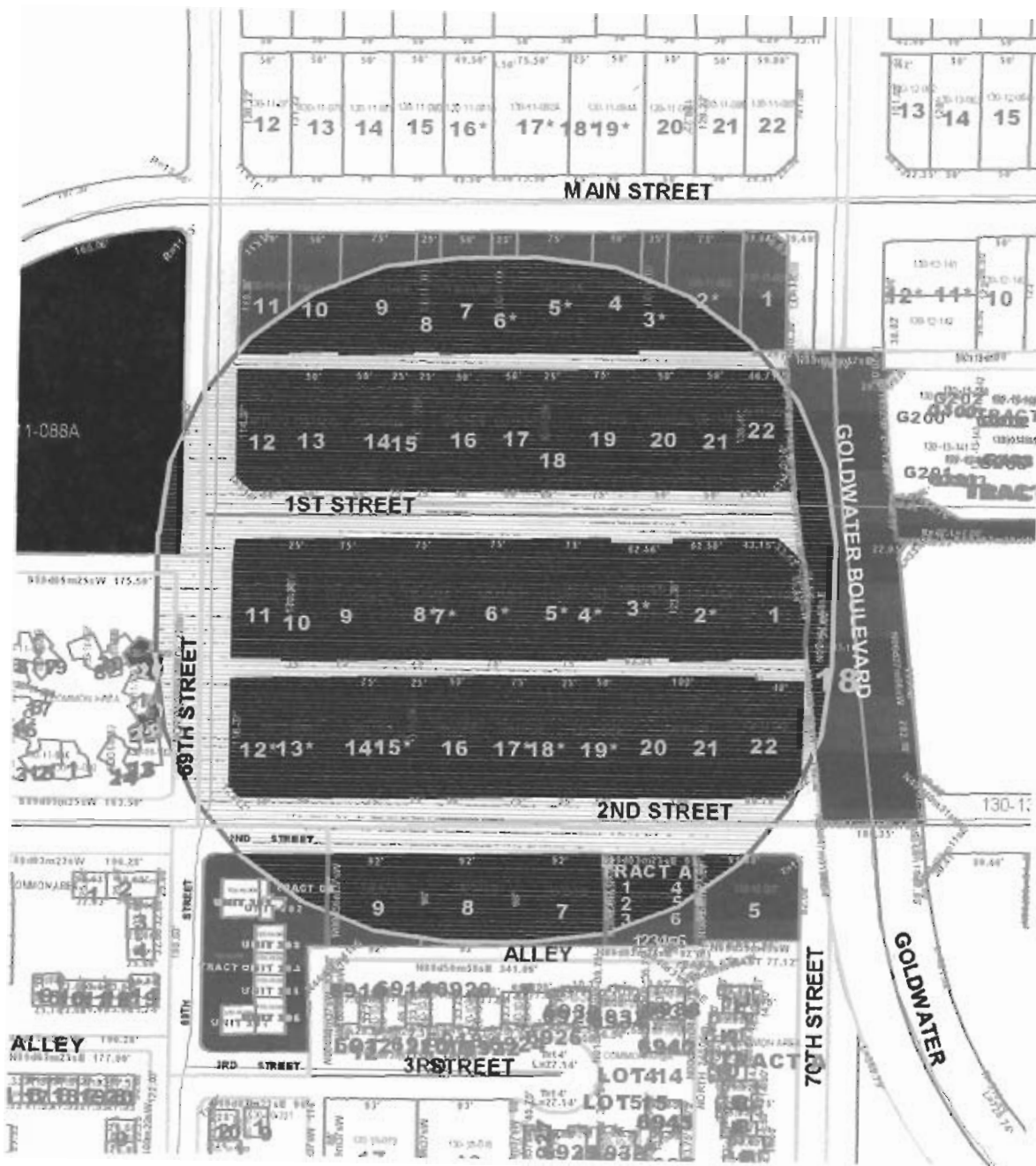


7-DR-2005
1/25/2005

DESIGN COALITION
737 W. WILLY WORTH LANE
PHOENIX, ARIZONA
602-395-9580

RESIDENTIAL/OFFICE BLDG.
FOR BARRY BENNETT
6921 E. FIRST STREET
SCOTTSDALE, ARIZONA





MAP OF OWNERS CONTACTED WITHIN
300 FT. OF THE SITE

7-DR-2005
1/25/2005

MSR PROPERTIES LLC
7305 E GREENWAY ROAD
SCOTTSDALE, AZ 85260

CREATIVE DISCOVERIES LLC
4326 N 75TH STREET
SCOTTSDALE, AZ 85251

MARY KINIETZ
6915 MAIN STREET
SCOTTSDALE, AZ 85251

PP&L INVESTMENTS
340 E PALM LN UNIT 135
PHOENIX, AZ 85004

DONN FRYE
7126 E SAHUARO DR
SCOTTSDALE, AZ 85253

CITY OF SCOTTSDALE
3939 CIVIC CENTER BLVD
SCOTTSDALE, AZ 85251

ICPTD02 LLC
PO BOX 810490
DALLAS, TX 75381

MURPHY GROUP LIMITED PTNRSH
340 PALM LN UNIT 135
PHOENIX, AZ 85004

STEPHEN & KIMBERLY PRINCE
4300 N MILLER RD #240
SCOTTSDALE, AZ 85251

RICHARD FUNKE
4409 N 66TH STREET
SCOTTSDALE, AZ 85251

ZEBRA FAMILY TRUST
4409 N 66TH STREET
SCOTTSDALE, AZ 85251

JOAN & JOHN BLACKWELL
6901 1ST STREET
SCOTTSDALE, AZ 85251

MATTHEW BOWERS
6907 1ST STREET
SCOTTSDALE, AZ 85251

DAVID MORGANROTH
716 S SANTA FE AVENUE
SALINA, KS 67401

VALERIE BONZER
PO BOX 69606
LOS ANGELES, CA 90069

D3 LLC
6939 E 1ST STREET
SCOTTSDALE, AZ 85251

RAYDEN HARBIN
6951 E 1ST STREET
SCOTTSDALE, AZ 85251

70TH STREET OFFICE LLC
6961 1ST STREET
SCOTTSDALE, AZ 85251

VERONICA RUSSELL
1813 E VELVET DR
TEMPE, AZ 85284

HENRY WORTHINGTON GROUP LLC
7736 E CATALINA
SCOTTSDALE, AZ 85251

CRAIG & GEORGINA TADDIKEN
6946 E 2ND STREET
SCOTTSDALE, AZ 85251

JAMES DOANE
PO BOX 57
SCOTTSDALE, AZ 85252

JEFF MINOR
POP BOX 44211
PHOENIX, AZ 85064

ADAM DAVIS
6916 E 2ND STREET
SCOTTSDALE, AZ 85251

DAWNVIEW HOLDINGS LLC
8540 E MCDOWELL RD #34
MESA, AZ 85207

JEAN HARNEY
6840 E 2ND STREET
SCOTTSDALE, AZ 85251

MFH LLC
PO BOX 4297
SCOTTSDALE, AZ 85261

HUERFANO RIVER RANCH CORP
PO BOX 38113
COLORADO SPRINGS, CO 80937

BRADFORD & HOLLEY REEVES
418 W 7TH STREET
MANKATO, MN 56001

SCHANNOON ANDERSEN
6840 E 2ND STREET
SCOTTSDALE, AZ 85251

PATRICIA HAMMELE
50 SUTHERLAND STREET
PITTSFORD, NY 14534

DEBORAH AHLER
6840 E 2ND STREET #14
SCOTTSDALE, AZ 85251

DORIS & PAUL GAREY
PO BOX 215
DOWNS, KS 67437

MARK THOMPSON
4730 E INDIAN SCHOOL #120-191
PHOENIX, AZ 85018

EASTMORELAND LTD PARTNERSHIP
62 BILTMORE ESTATES
PHOENIX, AZ 85016

AZURA EAST CONDOMINIUMS LLC
825 BROADWAY ROA
TEMPE, AZ 85282

E-MAIL FROM PROPERTY OWNER IN THE AREA

Verschuren, Bill

From: Jody Smith [fhmjs@earthlink.net]
Sent: Monday, January 10, 2005 3:32 PM
To: bverschuren@scottsdaleaz.gov
Subject: Re: 6921 E. First Street

Dear Mr. Verschuren.....

Per our telephone conversation I am writing you to voice our concerns at the proposed "improvement" of the property at 6921 E. First Street, Scottsdale.

My dad was an architect and I remember him telling us that **architecture should always be in harmony with the environment.** The proposal by Barry Bennett would be to cut down all the mature desert trees on the property, remove the existing building and build a giant 3-story box structure that would cover the entire lot. If you see this as an improvement or he does we do not understand your thinking. The building [art studio] that is now on the property is a perfect compliment to this street. To erase it from existence is a sad statement to where our great city is headed.

We moved to Scottsdale in 1950 and have been witness to many changes. But to destroy the artistic look of the downtown area seems to run against what Scottsdale says it wants for us. We have lived in the adjacent property since 1977. We support the downtown businesses and enjoy the Scottsdale Center of the Arts and walking around Old Town. The charm of the downtown area is that you don't have to have multi-story buildings everywhere. There are two big projects beginning at each end of our street----- The Main St. lofts and at the west end the Valley Ho properties. They will be multi-story buildings. Isn't that enough for this one street to endure?

I hope you read and respect our views as long-time residents and supporters of the downtown area. Please, advise us of future design meetings that we can attend regarding the property at 6921 E. First Street.

Sincerely,

Frank and Jody Smith
6915 E. First Street
Scottsdale, Arizona 85251

02/11/2005

BENNETT RESIDENTIAL/OFFICE BUILDING
6921 E. FIRST STREET
SCOTTSDALE, ARIZONA

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|--|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p><u>AS SHOWN</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p><input checked="" type="checkbox"/> A. KNOX BOX</p> <p><input type="checkbox"/> B. PADLOCK</p> <p><input type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</p> <p><input type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____</p> <p><input type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x _____ CAL'S. (NSHT)</p> <p><input type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF _____ CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.</p> |
|---|--|

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: RES/ LT HAZ 4 HEAD CALC. SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Downtown Residential/Office Remodel 7-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Design Coalition with a staff receipt date of 5/17/2005.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Design Coalition with a staff receipt date of 5/17/2005.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Design Coalition with a staff receipt date of 5/17/2005.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
3. All exterior conduit and raceways shall be painted to match the building.
4. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
5. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
6. Dooley wall fencing shall not be allowed.
7. All walls shall match the architectural color, materials, and finish of the building(s).
8. Parking canopies shall have a minimum 4-inch wide fascia board.
9. Parking canopies shall have no exposed corrugated metal. If used, the metal shall be painted to match the building, and mostly concealed by fascia and other structural features of the canopy.

SITE DESIGN:

Ordinance

- A. Handicapped parking shall be provided as collectively required by the City of Scottsdale Zoning Ordinance and the Regulations of the Americans with Disabilities Act (ADA). In the event of conflict or difference between the City of Scottsdale Zoning Ordinance and ADA Regulations, the stricter requirement shall prevail.

LANDSCAPE DESIGN:**DRB Stipulations**

10. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
11. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.
12. Boulders shall be buried a minimum of 1/3rd their height.

Ordinance

- B. A permit shall be obtained from the assigned Project Coordinator for the removal of existing mature trees. All trees to be removed shall be accounted for in the permit submittal.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

13. All exterior luminaires shall meet all IESNA requirements for full cutoff, except for parking canopy and landscape lighting, and shall be aimed downward and away from property line.
14. The individual luminaire lamp shall not exceed 100 watts.
15. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
16. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
17. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 2.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

Carport Lighting: (Only if Proposed at DRB)

- e. The carport lighting shall be recessed within the canopy and shall not project below the fascia. The light source is not directly visible from the property line.

Landscape Lighting:

- f. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- g. Landscaping lighting shall only be utilized to accent plant material.
- h. All landscape lighting directed upward, shall be aimed away from property line.
- i. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- j. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

ADDITIONAL PLANNING ITEMS:**DRB Stipulations**

18. No exterior vending or display shall be allowed.
19. Flagpoles, if provided, shall be one piece, conical, and tapered.
20. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:**Ordinance**

- C. At the time of review, the applicable zoning case for the subject site was: 62-ZN-1985.

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

21. Stormwater Storage Waiver Request approved by the City of Scottsdale on 3/14/05.

DRAINAGE AND FLOOD CONTROL:**DRB Stipulations**

22. A final drainage report/ statement shall be submitted that demonstrates consistency with the conceptual drainage statement approved in concept by the Planning and Development Services Department.
23. Basin Configuration:
 - a. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.

Ordinance

- D. Submit a Stormwater Storage Waiver for this development.
- E. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report/statement and plan, subject to City staff approval.
- F. Underground Stormwater Storage:
 - (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:**Streets and other related improvements:**

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
1 st street		30' (half) see note "A" below		See note "A" below	6 feet wide minimum

Note "A" –

1st street- The final half street R.O.W. shall be 30'. It appears that there is an existing 25 feet R.O.W. on the project side of the street.

Street construction- The developer shall install half street improvement, with sidewalk and curb/gutter, on 1st Street. The 1st Street cross section shall match the existing 1st Street cross section at the intersection to the east of this site.

Curb/gutter- Match curb with the existing curb on the north side of the street.

Sidewalk- Sidewalk should be 6 feet wide.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
Alley	2' additional R.O.W. dedication is required for the alley.

DRB Stipulations

24. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

25. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on 1st Street.

26. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

G. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

27. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**DRB Stipulations**

28. Basis of Design Report (Water):

Ordinance

H. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

29. On-site sanitary sewer shall be privately owned and maintained.

30. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

I. Privately owned sanitary sewer shall not run parallel within the waterline easement.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

31. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

J. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

VERIFICATION OF COMPLIANCE**DRB Stipulations**

32. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:

- a. Add any conditions that would have to be met prior to final plan approval.
- b. Whole building will need sprinklers per Rural Metro requirements.